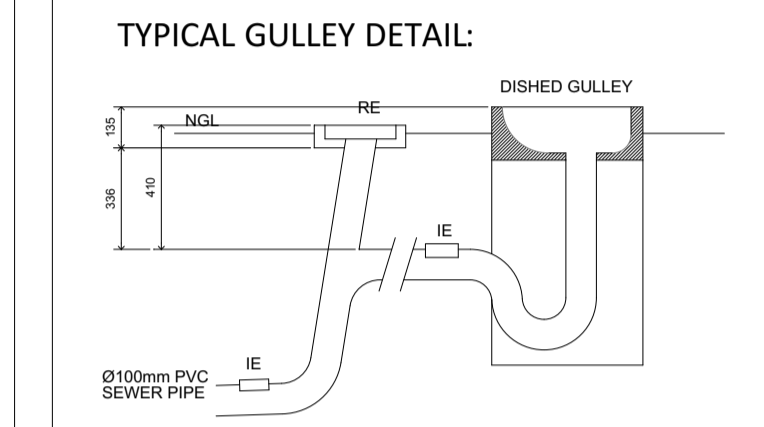


GENERAL NOTES:

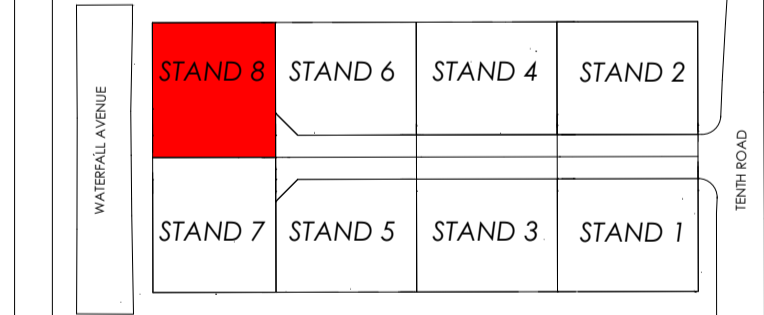
- 1. NO DIMENSIONS TO BE SCALED.
- 2. DIMENSIONS TO BE CONFIRMED ON SITE.
- 3. DIMENSIONS ARE TAKEN TO CENTRE LINES OR STRUCTURAL SURFACES AND DO NOT INCLUDE FINISHES EXCEPT WHERE OTHERWISE STATED.
- 4. THE ARCHITECT IS TO BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THIS DRAWING AND OTHERS INCLUDING THOSE ISSUED BY CONSULTANTS AND NOMINATED SUB-CONTRACTORS BEFORE COMMENCING WORK.

NOTES:

- FOUNDATIONS:**
STRICTLY TO ENGINEER'S DETAILS AND SPECIFICATIONS
- FLOOR:**
ALL CONCRETE SLABS STRICTLY TO ENGINEER'S DETAILS AND SPECIFICATIONS. FLOOR FINISHES ON 20mm CEMENT SCREED. ON 100mm THICK CONCRETE FLOOR SLAB TO ENGINEER'S DETAILS AND SPECIFICATIONS ON 375 MICRON POLYETHYLENE DPC ON COMPACTED FILLING AS PER ENGINEER'S SPECIFICATIONS. TREATED AGAINST TERMITES.
- PAVING:**
BRICK PAVING TO SPECIALIST'S SPECIFICATIONS ON CLEAR RIVER SAND ON COMPACTED FILLING IN LAYERS OF 150mm MAX.
- SEWER:**
ALL WASTE PIPES MUST BE PROVIDED WITH ANTI-VAC TRAPS. ALL EQUIPMENT TO BE PROVIDED WITH VENT VALVES. ALL VENT PIPES TO BE CONCEALED. ALL AS PER SANS 10400
- BOUNDARY WALLS:**
PLASTERED AND PAINTED SELECTED COLOR. ALL AS PER SANS 10400
- WINDOWS & DOORS:**
WINDOWS AND DOORS TO BE ALUMINIUM FRAMED AS PER WINDOWS SCHEDULE.
- GLASS:**
ALL GLASS TO COMPLY TO THE NBRS 400 & ANSA STANDARDS. FROSTED GLASS TO BE USED ON ALL BATHROOM WINDOWS.
- DAMP-PROOFING:**
DPC MUST BE PROVIDED UNDER ALL WALLS AND WINDOW CILLS. ALL AS PER SANS 10400
- RAILINGS:**
1000mm HIGH STAINLESS STEEL BALUSTRADE AS PER DETAIL. ALL TO COMPLY WITH SANS 10400



AREA SCHEDULE	
GROUND FLOOR	
RESIDENCE	107.2m ²
GARAGE	41.7m ²
STAFF QUARTERS	14.7m ²
TOTAL	163.6m²
FIRST FLOOR	
RESIDENCE	140.5m ²
TOTAL	304.1m²
PATIOS/BALCONIES	
GROUND FLOOR COVERED	24.8m ²
FIRST FLOOR COVERED	10.7m ²
TOTAL	35.5m²
TOTAL	339.6m²
STAND	418m²
COVERAGE	45.0%



No. Revisions	Date

Dwg no.	Dwg title
13-149-S08-P100	Site + Roof plan
13-149-S08-P101	Ground Floor plan
13-149-S08-P102	First Floor plan
13-149-S08-P200	Section A-A & B-B
13-149-S08-P201	Section C-C & Elevations
13-149-S08-P300	Ground floor electrical
13-149-S08-P301	First floor electrical

PATTICHIDES & PARTNERS
PTY LTD Reg 2020/00000000 architecture & design

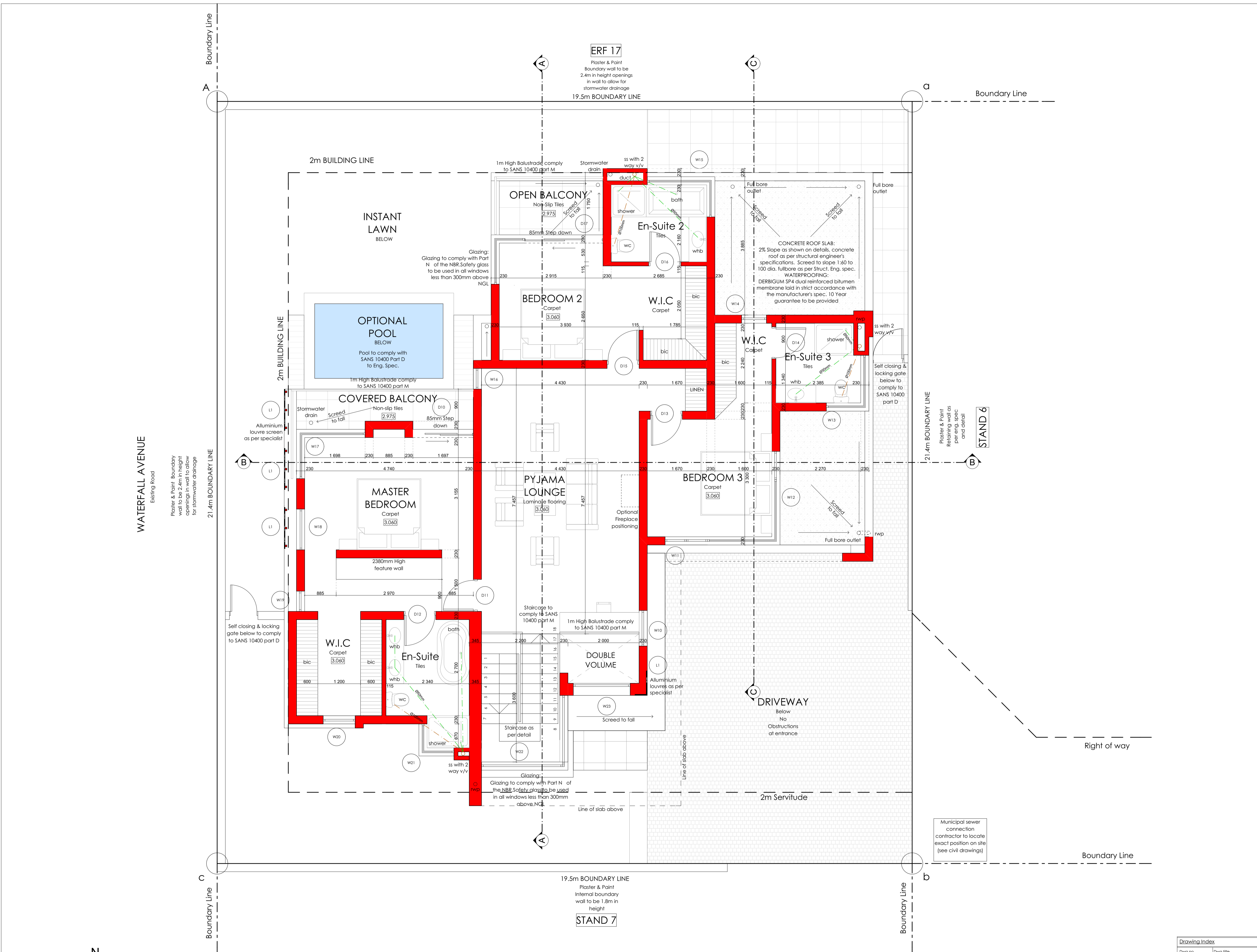
130 Bronkhorst street, New Muckleneuk, Pretoria, South Africa
Tel: (012) 346 0440, Fax: (012) 346 0441, Cell: 082 440 8005, E-mail: cns@pattichides.co.za

Client: **SARTOR INVESTMENT CC**
DAVID WILLIAMS

Project: **PORTION 8 OF ERF 16 CRAIGHALL**

Drawing title: **FIRST FLOOR PLAN** Scale: 1:50 @ A1 Date: 21/04/2018

Drawing no.: 13-149-S08-P102 Revision: B Drawn: LEE MEELENG Checked: CARL NICOLAOU



First floor plan
Scale 1:50 @ A1

PLEASE NOTE:
All concrete work, all waterproofing as per Struct. Eng. specification
All Parapet walls to be waterproofed
All corner windows to be supported by MS hanger details as per eng. spec

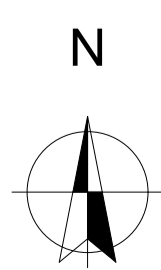
Drainage Legend

- 50mm Ø uPVC WP
- 110mm Ø uPVC WP

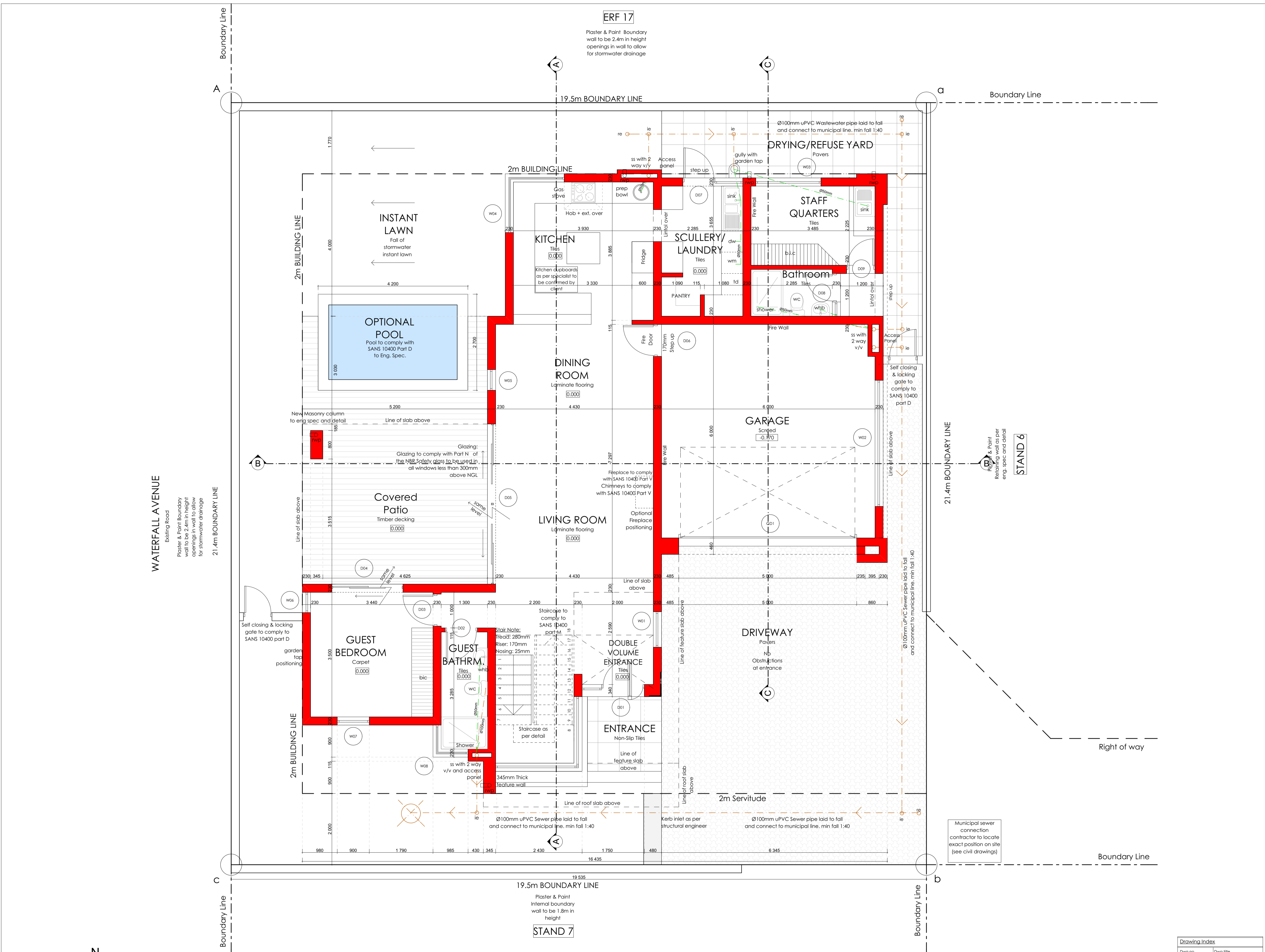
Access panels to ducts only at joints

Please Note:
Levels and steps to be determined on site by contractor to be approved by client and architect

Municipal sewer connection contractor to locate exact position on site (see civil drawings)



Boundary Line
2m BUILDING LINE
19.5m BOUNDARY LINE
21.4m BOUNDARY LINE
WATERFALL AVENUE Existing Road
DRIVEWAY Below No Obstructions at entrance
2m Servitude
Right of way



GENERAL NOTES:

ALL MATERIALS AND CONSTRUCTION MUST COMPLY WITH THE NATIONAL BUILDING REGULATIONS (ACT NO 103 OF 1977) INCLUDING ALL AMENDMENTS AS WELL AS THE BY-LAWS OF THE LOCAL AUTHORITIES.

- NO DIMENSIONS TO BE SCALED.
- DIMENSIONS TO BE CONFIRMED ON SITE.
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NOTES:

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PAVING:
BRICK PAVING TO SPECIALIST'S SPECIFICATIONS ON CLEAR RIVER SAND ON COMPACTED FILLING IN LAYERS OF 150mm MAX.

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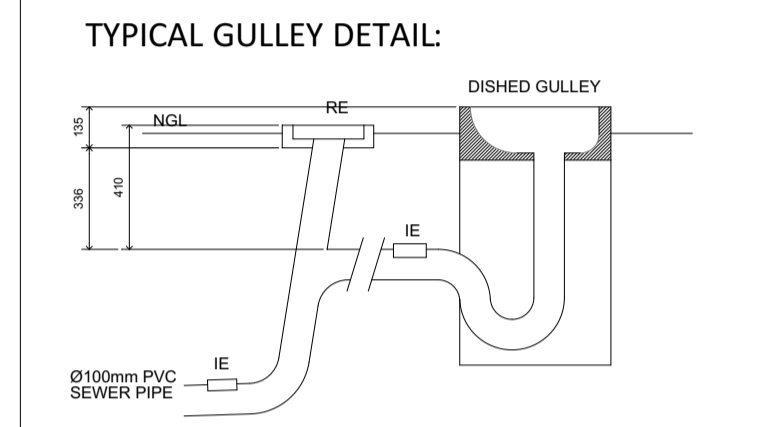
BOUNDARY WALLS:
PLASTERED AND PAINTED SELECTED COLOR. ALL AS PER SANS 10400

WINDOWS & DOORS:
WINDOWS AND DOORS TO BE ALUMINIUM FRAMED AS PER WINDOWS SCHEDULE. WINDOWS AND DOORS TO BE ALUMINIUM FRAMED AS PER WINDOWS SCHEDULE. USED ON ALL BATHROOM WINDOWS.

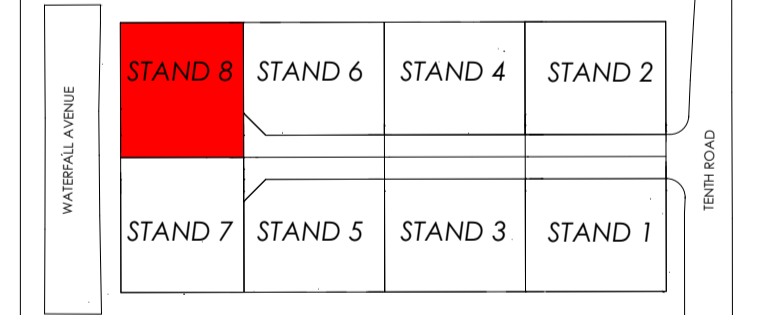
GLASS:
ALL GLASS TO COMPLY TO THE NBR9400 & AAMA STANDARDS. FROSTED GLASS TO BE USED ON ALL BATHROOM WINDOWS.

DAMP-PROOFING:
DPC MUST BE PROVIDED UNDER ALL WALLS AND WINDOW CILLS. ALL AS PER SANS 10400

RAILINGS:
100mm HIGH STAINLESS STEEL BALUSTRADE AS PER DETAIL. ALL TO COMPLY WITH SANS 10400



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No. Revisions	Date

PATTICHIDES & PARTNERS
PTY LTD Reg 2020/00000000 architecture & design

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Tel: (012) 346 0440, Fax: (012) 346 0441, Cell: 082 440 8005, E-mail: cns@pattichides.co.za

Client: SARTOR INVESTMENT CC
DAVID WILLIAMS

Project: PORTION 8 OF ERF 16 CRAIGHALL

Drawing title: GROUND FLOOR PLAN
Scale: 1:50 @ A1
Date: 21/04/2018

Drawing no.: 13-149-S08-P101
Revision: B
Drawn: LEE MEELENG
Checked: CARL NICOLAOU

PLEASE NOTE:
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All Parapet walls to be waterproofed
All corner windows to be supported by MS hanger details as per eng. spec

Drainage Legend
50mmØ uPVC WP
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Access panels to ducts only at joints

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Ground floor plan
Scale 1:50 @ A1

STAND 7

Drawing Index

Dwg no.	Dwg title
13-149-S08-P100	Site + Roof plan
13-149-S08-P101	Ground floor plan
13-149-S08-P102	First floor plan
13-149-S08-P200	Section A-A & B-B
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